



VALLEY HI CLUBHOUSE UPDATES

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7/11/2023

TIMELINE



Valley Hi Clubhouse Study

- March 2022
Colorado Springs Facility Master Plan

[VH BOS Draft](#)
[VH Building COS Facility System](#)
[VH Building Work Plan](#)

- August 30, 2022 –
Select Design Edge
Project Feasibility study for Valley Hi Golf Course Clubhouse

- March 24, 2023
 - Project Feasibility Report
DRAFT REPORT

- 3rd Quarter of 2023
- Work with City Finance, and Office of Innovation to explore ways to fund project.



- April 19, 2022
Clubhouse Asbestos Report

August 10, 2022
Pool House Asbestos Report

- April 2023
 - Review report, updates

CLUBHOUSE STUDY



Reuse existing building but remove 3rd floor completely. Repurpose 2nd Floor for golf cart storage. Remodel existing pool building for proshop and a small restaurant
The 3rd Floor houses the Restaurant Kitchen and Dining Space. The 2nd Floor house the pro-shop and Locker Rooms as well as some General Kitchen Storage.

Scope of Work:

See attached drawings. The work would include complete demolition and abatement of all interior walls on both levels, structural columns supporting the roof, exterior walls of the 3rd floor, and modifications to the 2nd Floor exterior envelope to create access to the New Golf Cart Storage Area.. All existing HVAC systems will be demolished. The golf cart storage area will have special exhausts and system CO monitoring. The electrical system will be designed for future electrical cart charging. The cost of the charging stations is not included.

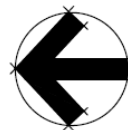
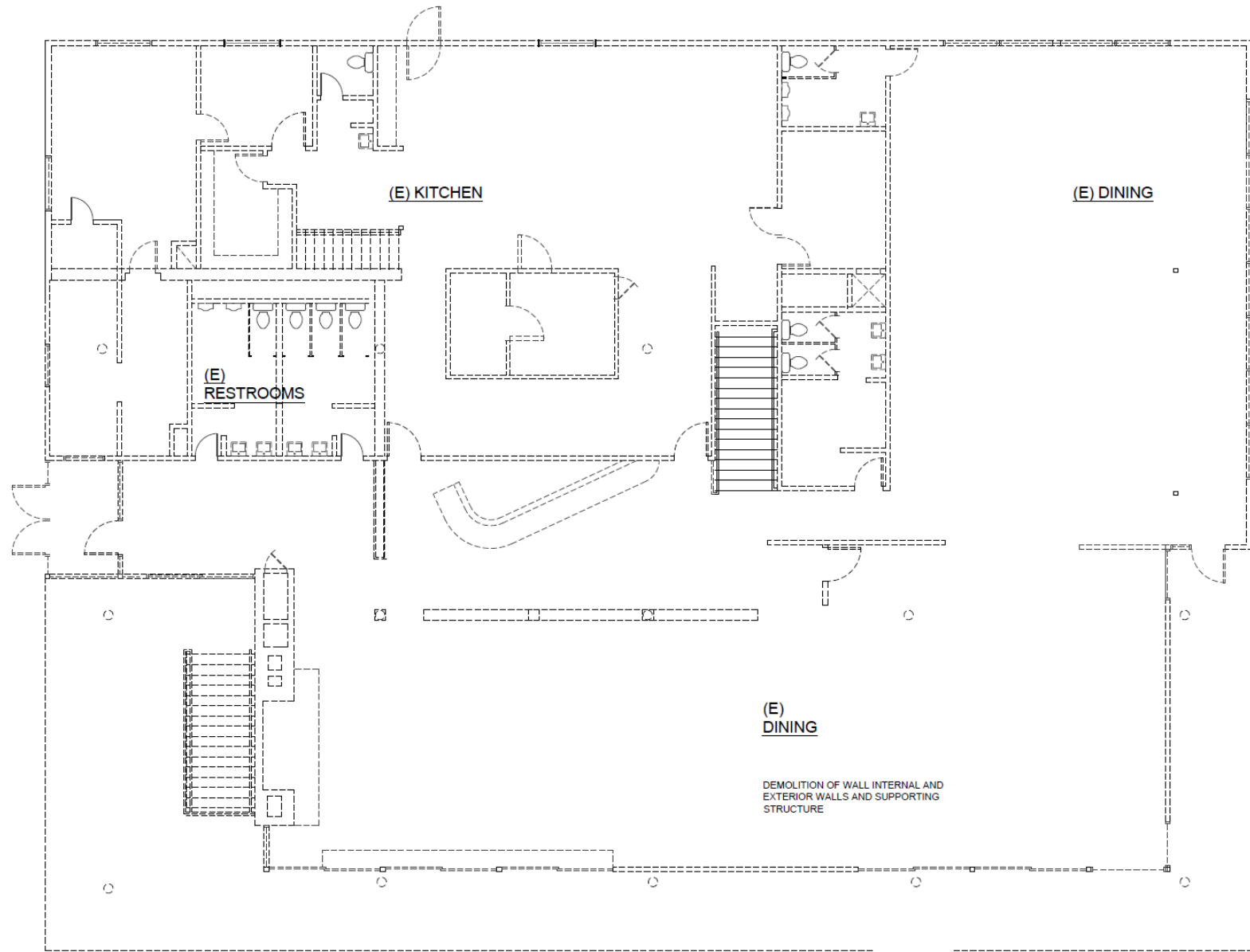
The 3rd Floor will be reshaped for roof drainage with tapered rigid insulation to meet current energy codes, and a new parapet wall. Roof access will be provided by maintaining existing 3rd Floor access stair and building a penthouse enclosure at the roof level.

The existing pool house has offices and locker rooms. The Locker rooms appear to be used for general storage of equipment. The building is two stories with the lower level as a part basement. The lower level has very low ceilings and any modification to create usable space at this level will require careful planning of ductwork and possible exposed structure in lieu of ceilings. The lower level will require substantial rehabilitation to create functional spaces. Like the main clubhouse building, the pool house will require hazardous material abatement.

Estimate of Construction Cost (ECC)

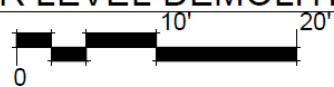
See attached Cost Report. For the above scope of work the ECC is **\$3,728,910**

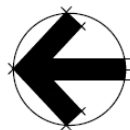
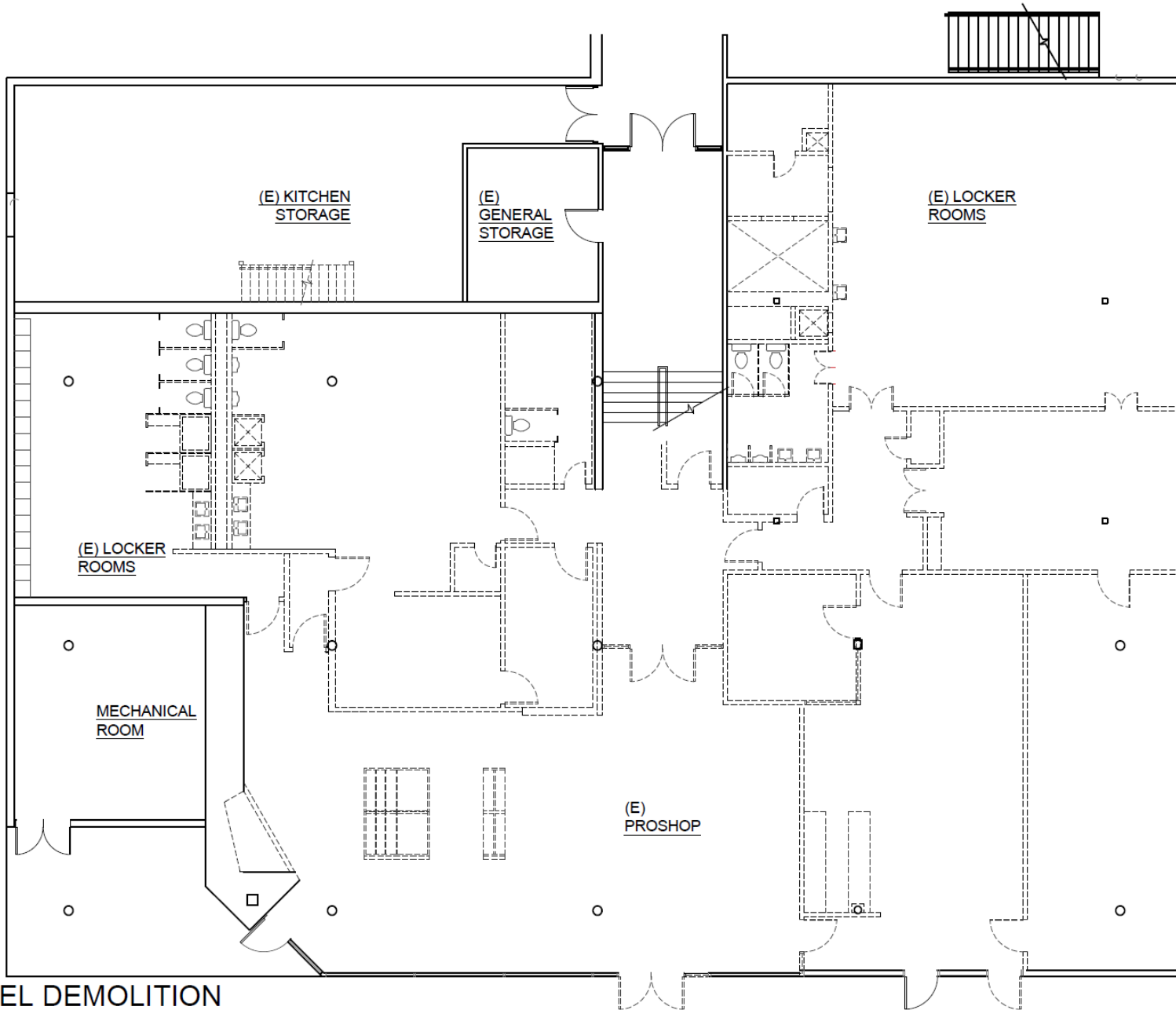
Description	Cost
Modify Main Clubhouse Building for Cart Storage	\$3,728,910
Remodel of Pool House for Pro-shop and restaurant	\$1,869,286
Total	\$5,598,196



PLAN OF UPPER LEVEL DEMOLITION

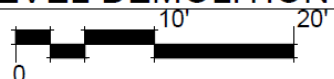
SCALE 1" = 10'

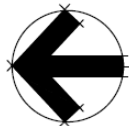
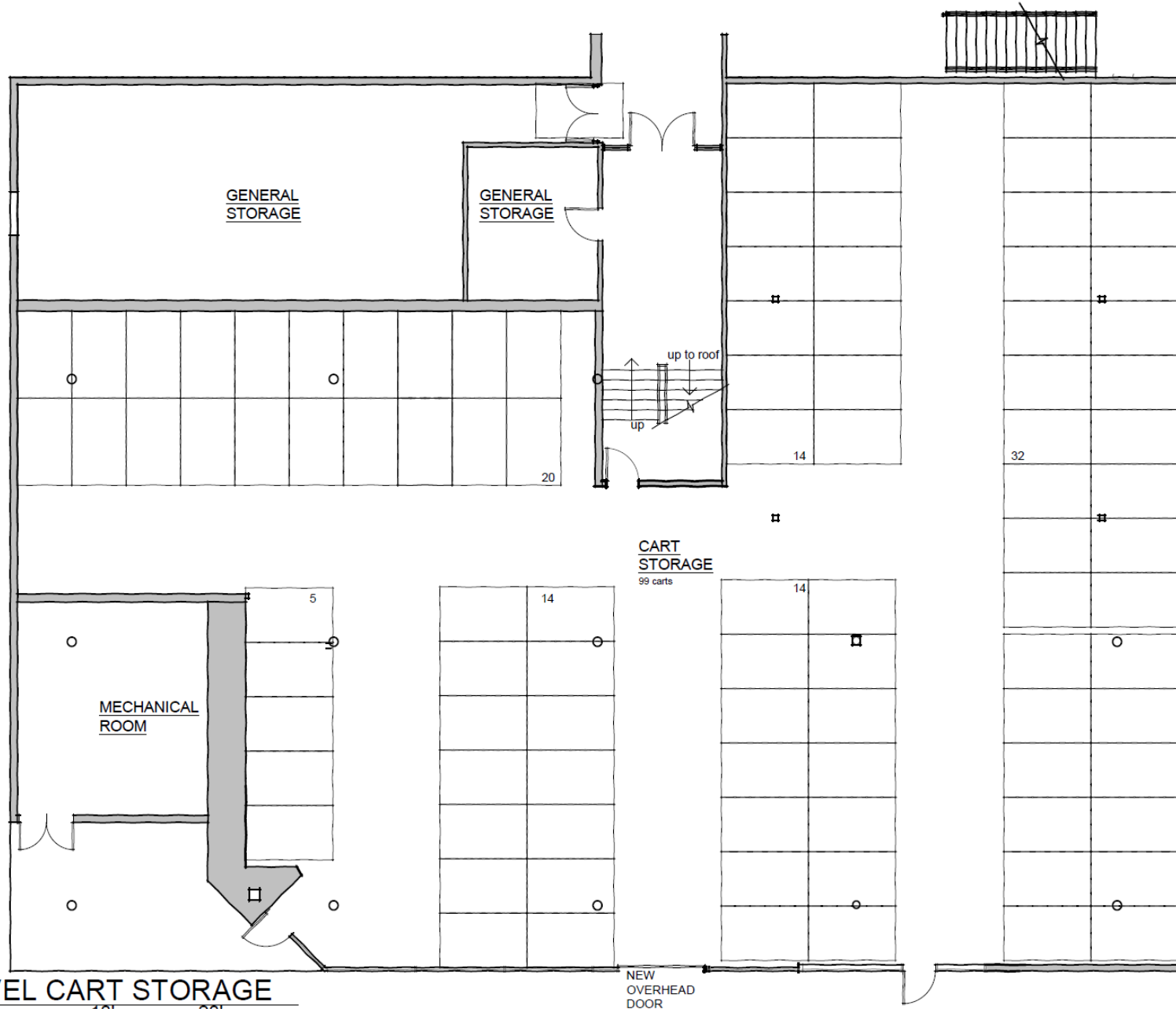




PLAN OF MID LEVEL DEMOLITION

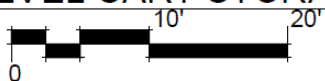
SCALE 1" = 10'





PLAN OF MID LEVEL CART STORAGE

SCALE 1" = 10'



NEW
OVERHEAD
DOOR

Reuse existing building but remove 3rd Floor completely. Repurpose a portion of 2nd Floor for golf cart storage, Proshop and Restaurant.

The 3rd Floor houses the Restaurant Kitchen and Dining Space. The 2nd Floor house the pro-shop and Locker Rooms as well as some General Kitchen Storage.

Scope of Work:

The work would include complete demolition and abatement of all interior walls on both levels, structural columns supporting the roof, exterior walls of the 3rd floor, and modifications to the 2nd Floor exterior envelope to create access to the New Golf Cart Storage Area, as well as modifications for a smaller pro-shop and restaurant area. All existing HVAC systems will be demolished, and new HVAC, electrical and plumbing systems provided for the restaurant and pro-shop. The golf cart storage area will

have special exhausts and system CO monitoring. The electrical system will be designed for future electrical cart charging. The cost of the charging stations is not included.

The 3rd Floor will be reshaped for roof drainage with tapered rigid insulation to meet current energy codes, and a new parapet wall. Roof access will be provided by maintaining existing 3rd Floor access stair and building a penthouse enclosure at the roof level.

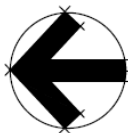
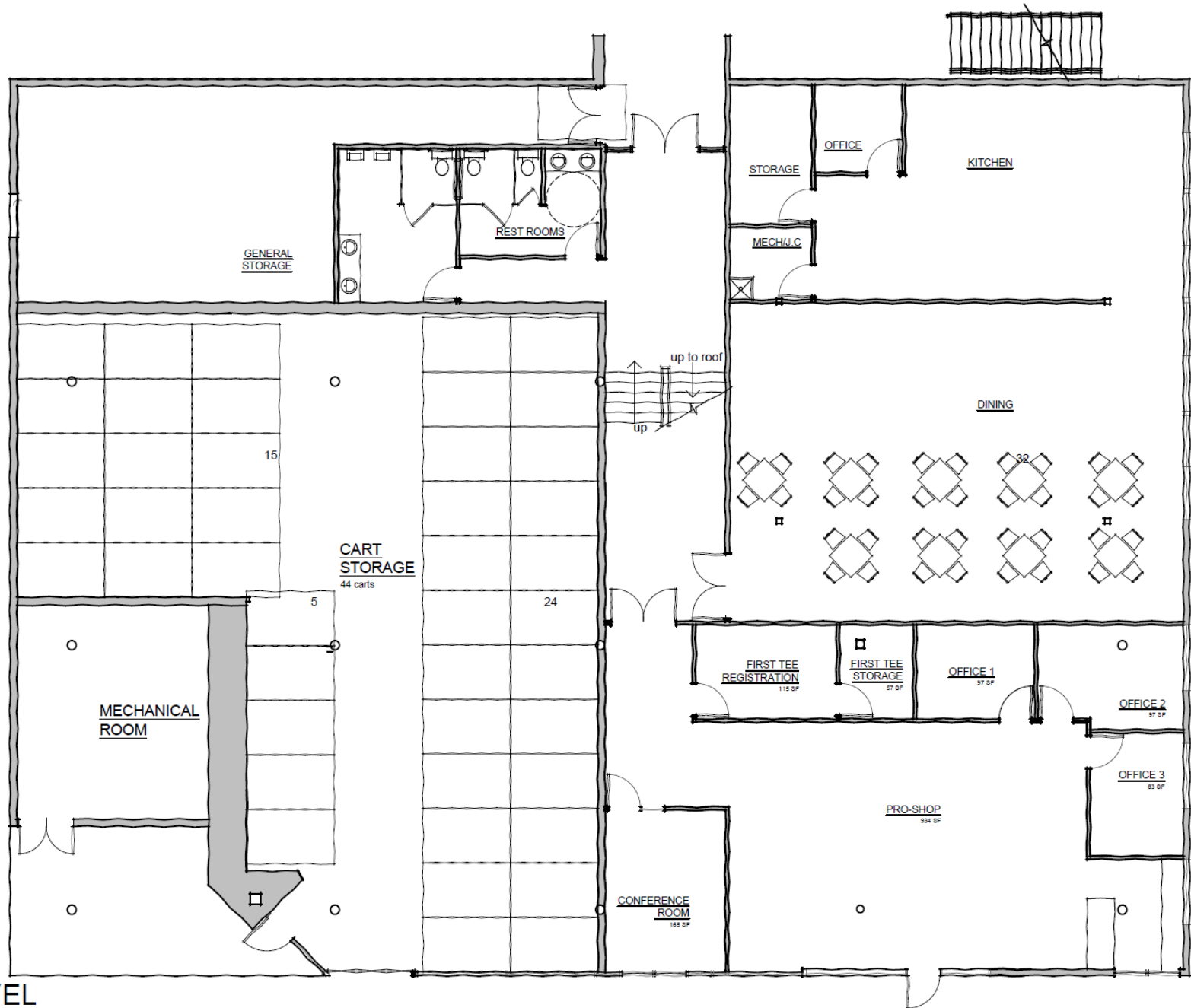
Estimate of Construction Cost (ECC)

For the above scope of work the ECC is **\$4,078,910**

Estimate of Construction Cost (ECC)

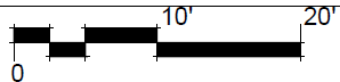
See attached Cost Report. For the above scope of work the ECC is **\$3,728,910**

Description	Cost
Modify Main Clubhouse Building for Cart Storage	\$3,728,910
Remodel of Pool House for Pro-shop and restaurant	\$1,869,286
Total	\$5,598,196



PLAN OF MID LEVEL

SCALE 1" = 10'

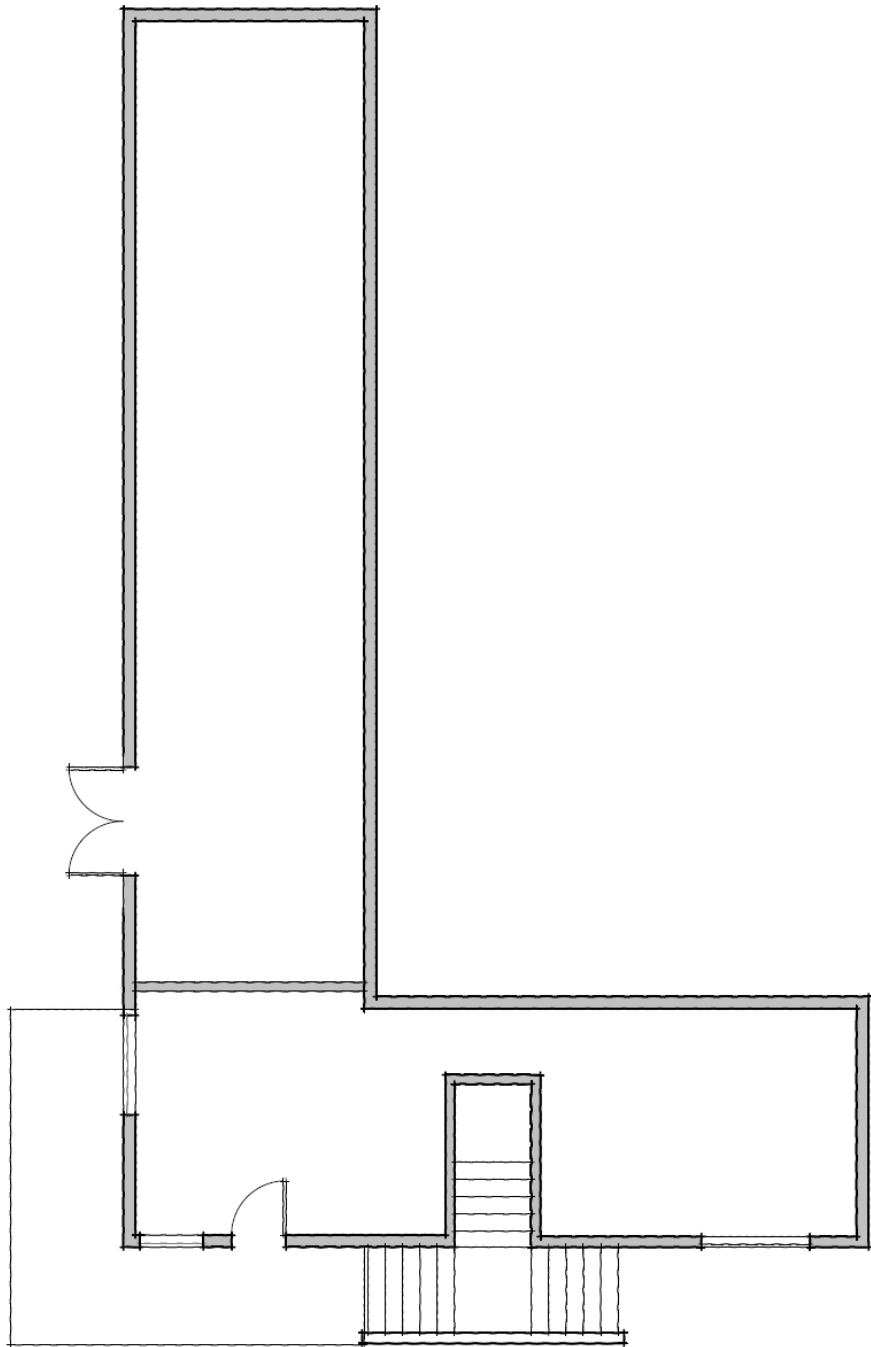


Demolish existing clubhouse building entirely. Reuse existing pool building for proshop and a small restaurant. Provide a pre-manufactured metal building for Golf Cart Parking.

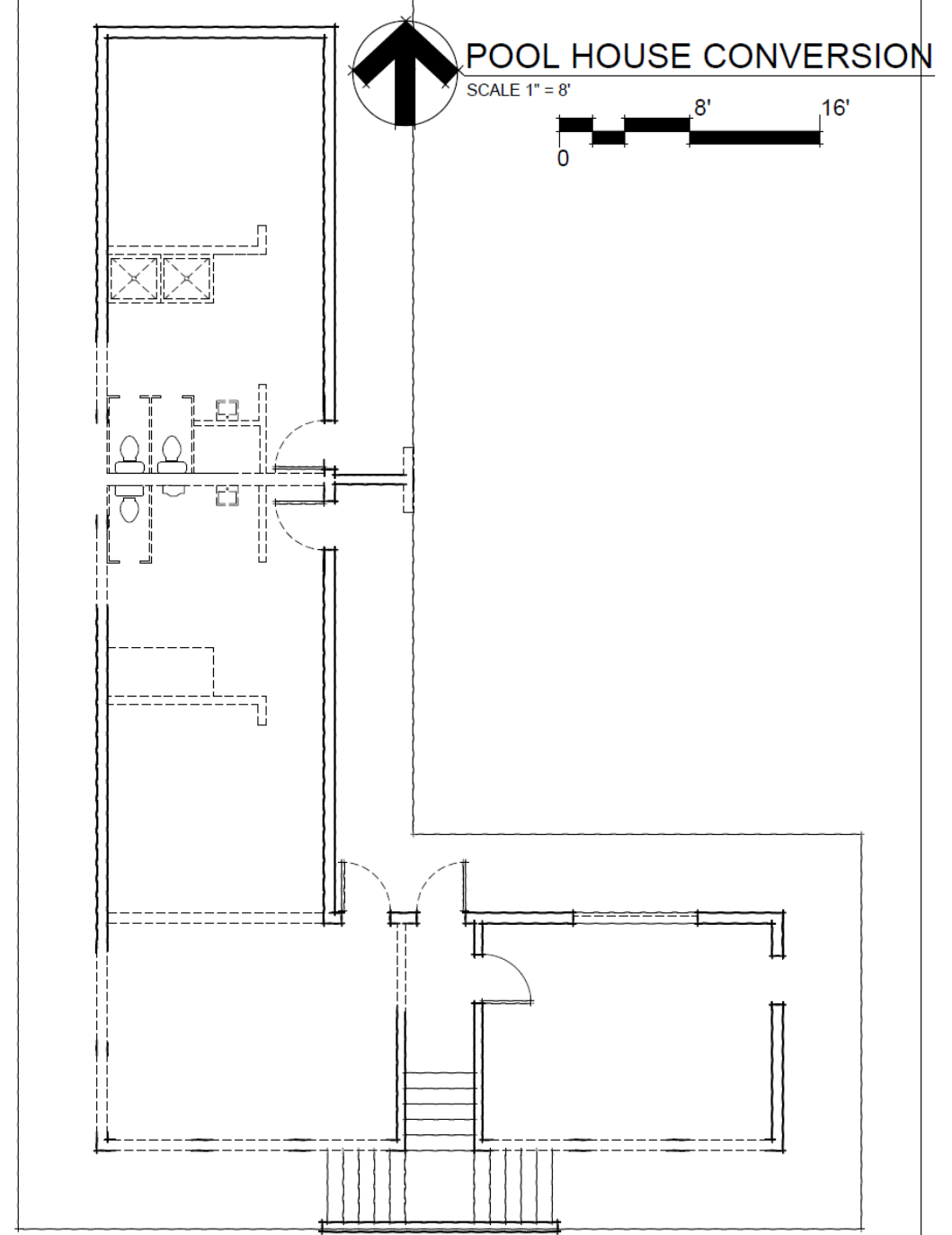
Scope of Work:

The existing pool house has offices and locker rooms. The Locker rooms appear to be used for general storage of equipment. The building is two stories with the lower level as a part basement. The lower level has very low ceilings and any modification to create usable space at this level will require careful planning of ductwork and possible exposed structure in lieu of ceilings. The lower level will require substantial rehabilitation to create functional spaces. Like the main clubhouse building, the pool house will require hazardous material abatement.

Description	Cost
Demolish Main Clubhouse Building	\$944,830
Construct Pre-manufactured Cart Barn (10,000 sf)	\$2,900,088
Remodel of Pool House for Pro-shop and restaurant	\$808,431
Total	\$4,653,349

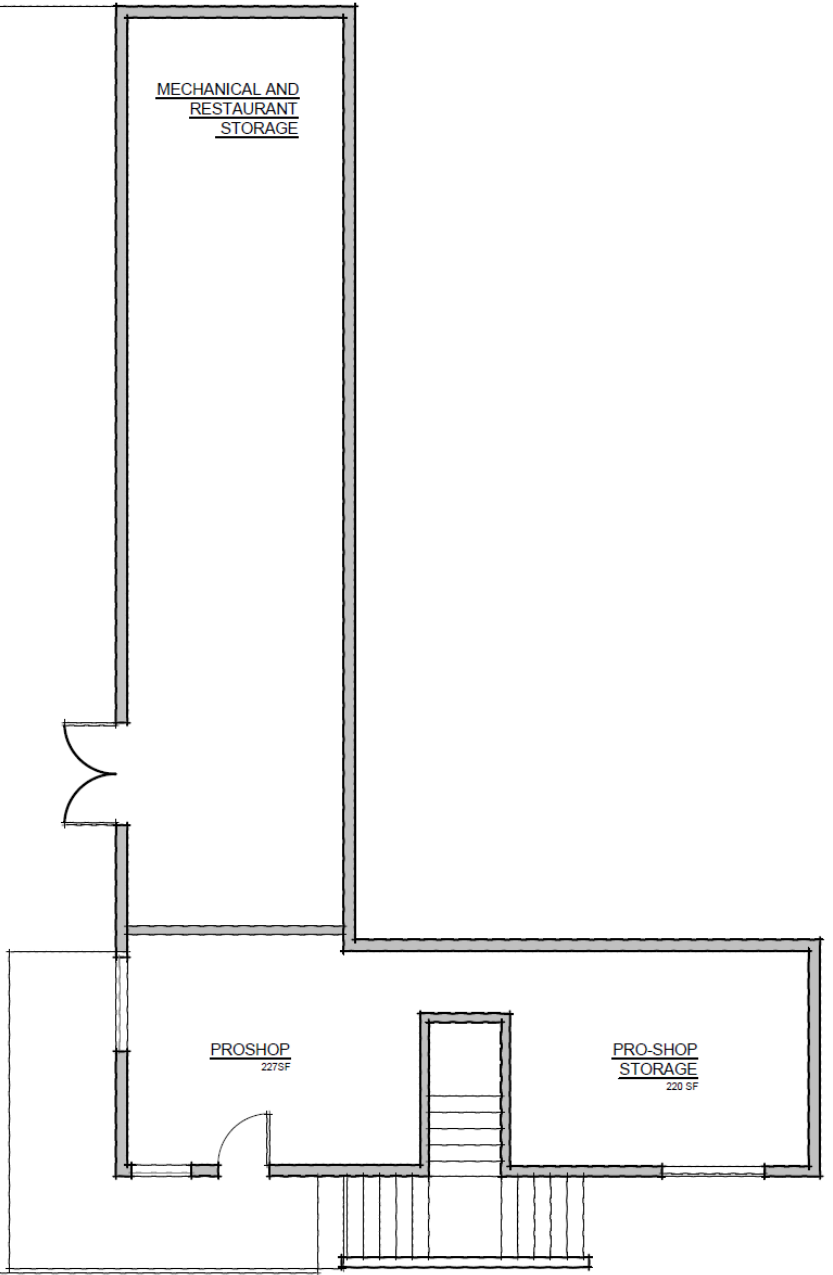


LOWER LEVEL DEMOLITION PLAN

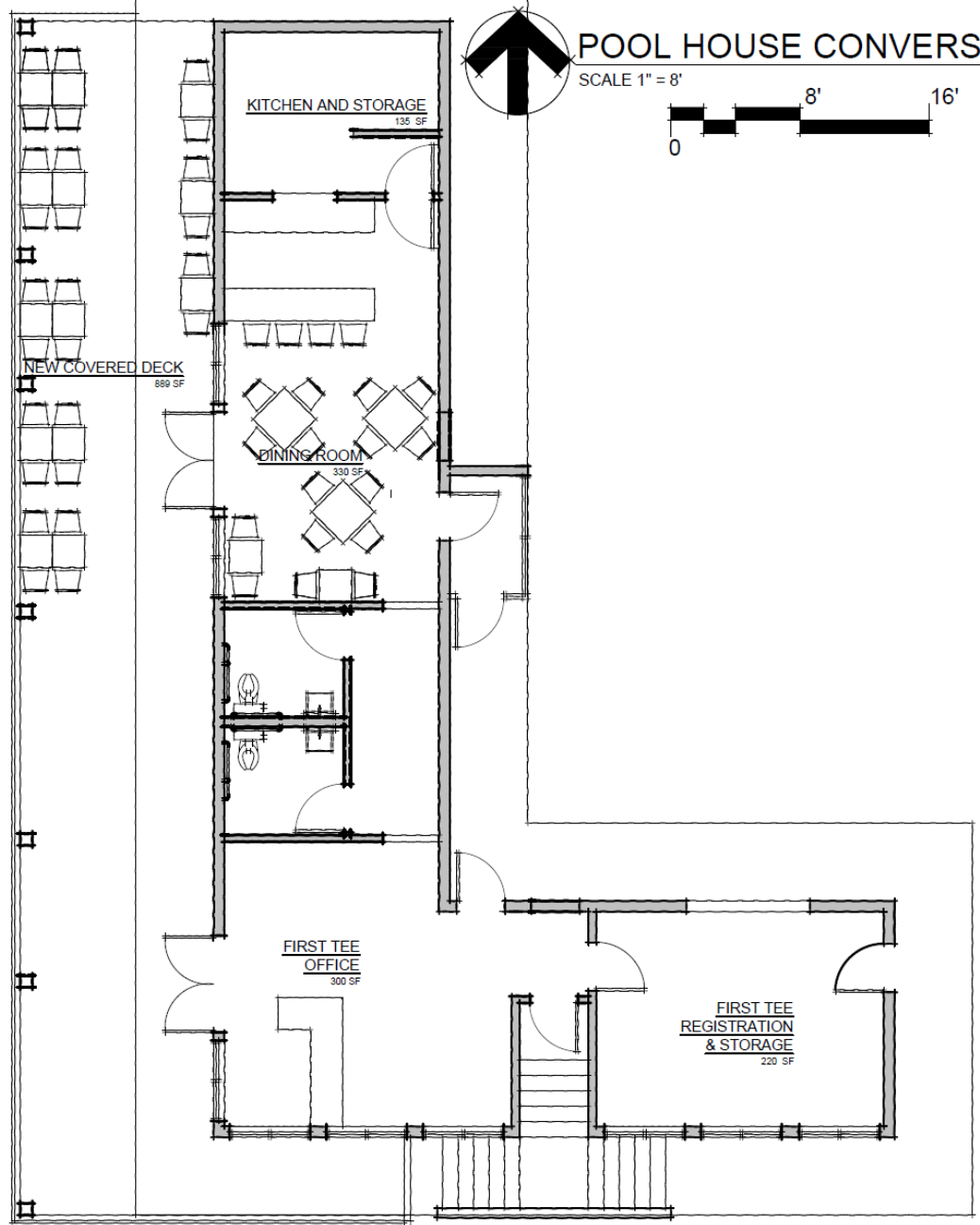


UPPER LEVEL DEMOLITION PLAN

POOL HOUSE CONVERSION
SCALE 1" = 8'
0 8' 16'



LOWER LEVEL PLAN



UPPER LEVEL PLAN

Demolish existing clubhouse building entirely. Demolish the existing pool building and replace with a new proshop/restaurant of approximately 3,000 sf. Provide a pre-manufactured metal building for Golf Cart Parking.

Scope of Work:

A new clubhouse will be constructed in the approximate location of the pool house. Sitework will include regrading for access to clubhouse. The estimate assumes single level slab on grade wood framed building. Optional cost for a full basement is indicated below (4a).

Description Option 4	Cost
Demolish Main Clubhouse Building	\$944,830
Demolish Pool Building	\$316,024
Construct Pre-manufactured Cart Barn (10,000 sf)	\$2,900,088
Construct new 3,000 sf clubhouse building	\$1,869,286
Total	\$6,030,228

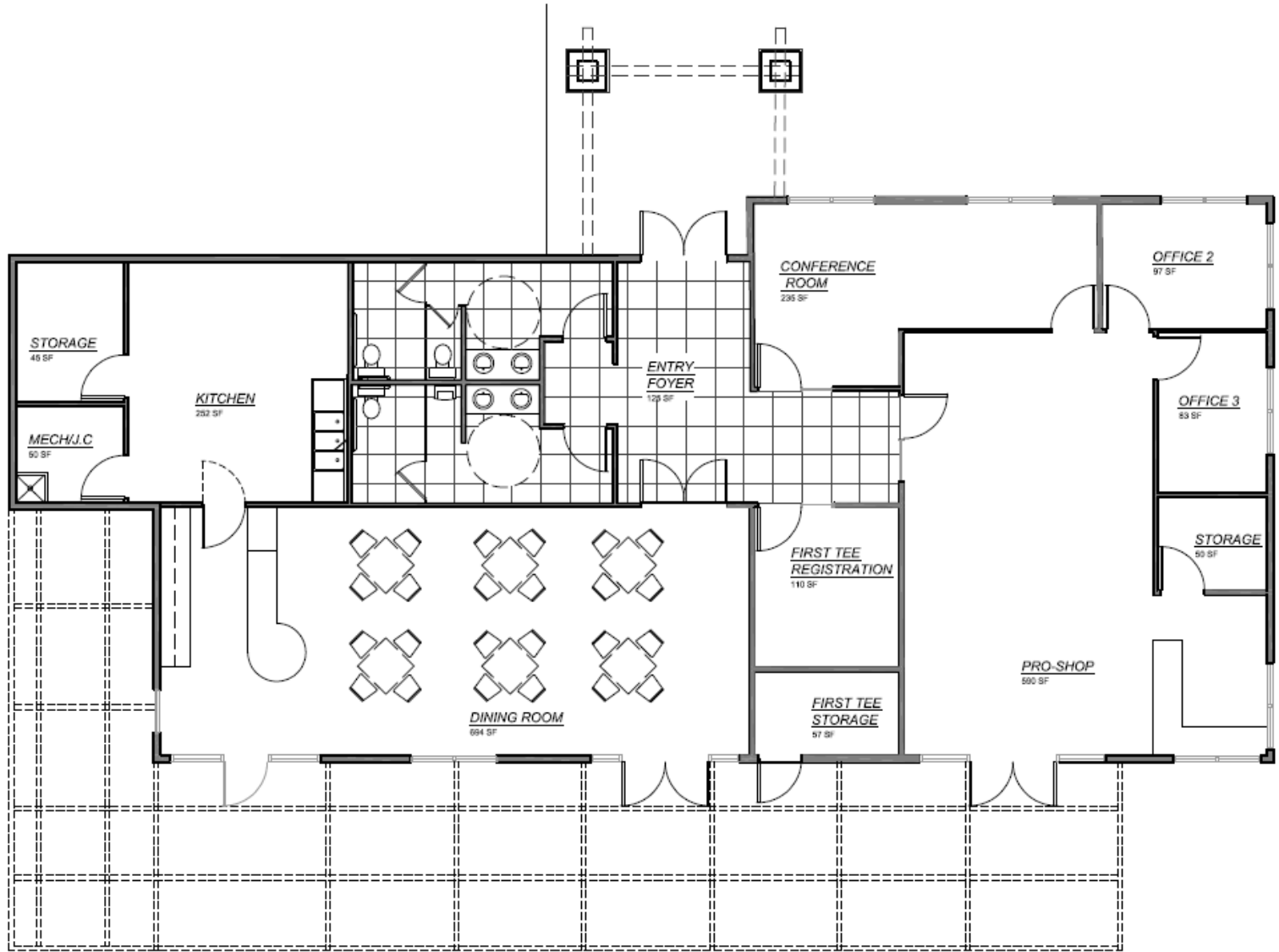
Description Option 4a	Cost
Demolish Main Clubhouse Building	\$944,830
Demolish Pool Building	\$316,024
Construct new two story 3,000 sf clubhouse building with cart parking on lower level	\$2,369,000
Total	\$3,629,854



GOLF CLUBHOUSE ELEVATION

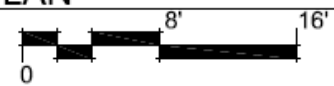
SCALE 1" = 8'

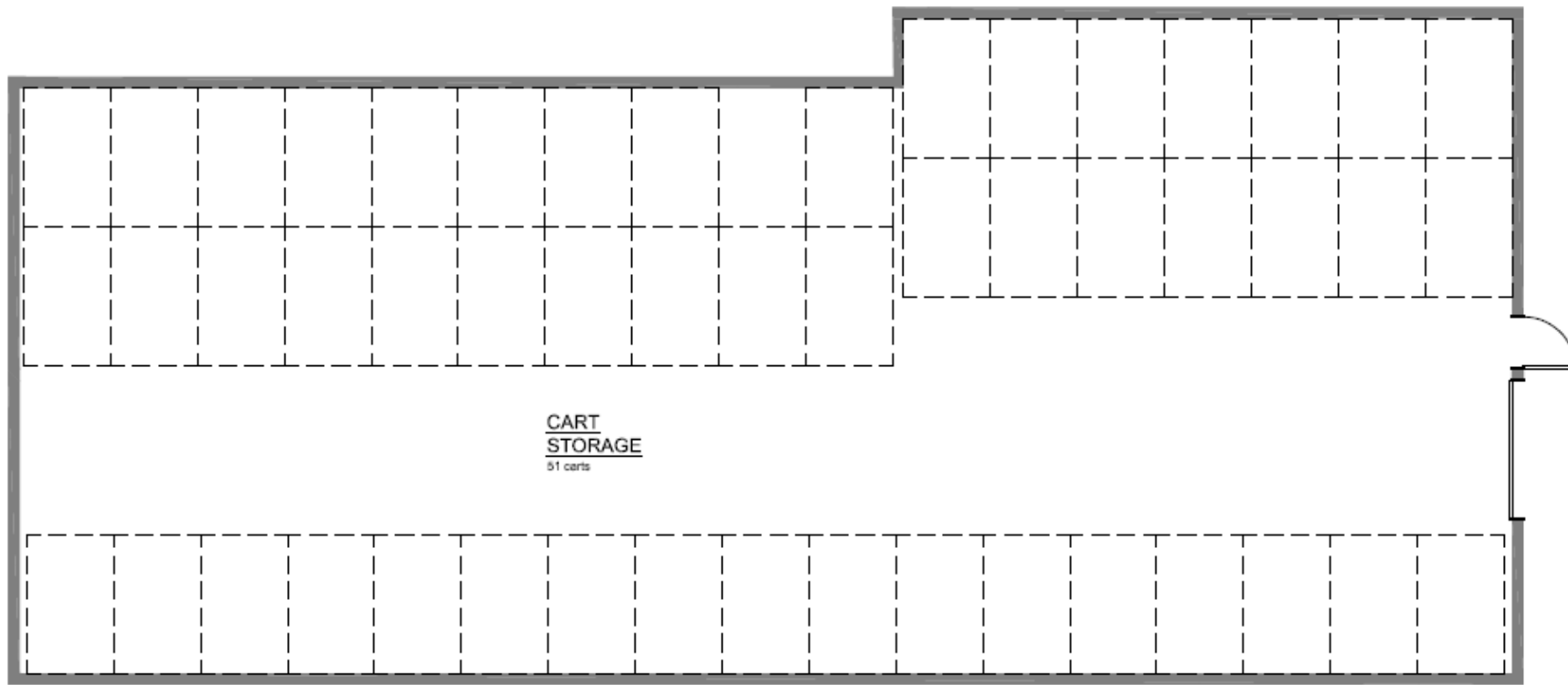




CLUBHOUSE PLAN

SCALE 1" = 8'
3,026 sf



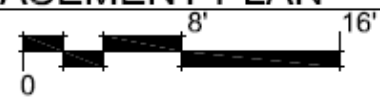


**CART
STORAGE**
51 carts



CLUBHOUSE BASEMENT PLAN

SCALE 1" = 8'
3,200 sf





SCHEMATIC SITE PLAN OF NEW CLUBHOUSE

DESIGN EDGE RECOMMENDATIONS



Summary

- To repurpose the existing pool house building is not a recommended option due to the low ceiling heights in the building.
- Existing clubhouse poses significant risk and cost associated with removing an entire story in the existing building.
- Construction on a new clubhouse and demolition of existing buildings may offer the most advantage at the least cost if a two-story golf clubhouse is constructed in lieu of a separate cart barn.

REVENUE AND EXPENSES



Valley Hi 2022 Financials

	Budgeted	Actual	Difference
Revenue	\$1,280,680.00	\$1,297,185.00	\$ 16,505.00
Expenses	\$1,268,399.00	\$1,304,774.00	\$ 36,375.00
Difference		\$ 7,589.00	
Estimated Fund Draw	\$7,589.00		

2023 YTD through June up 6% in Revenue

VH Fund Balance, June 2023 \$620,732.77

The golf division operates two self-supporting enterprises—Patty Jewett and Valley Hi. Patty Jewett and Valley Hi cannot share revenue due to Patty Jewett’s deed restriction. Each course generates its own revenue comprising greens fees, cart fees, and concessionaire rent, which pay for its operation, capital, and expenses. The golf courses do not collect property or sales tax for their operations.

ROUNDS DATA



Patty Jewett

	<u>2022</u>	<u>2021</u>	<u>2020</u>
9-Hole Rounds	98,603	107,962	98,491

Valley Hi

	<u>2022</u>	<u>2021</u>	<u>2020</u>
9-Hole Rounds	52,327	53,608	55,455

June 2023  YTD	20,996
June 2022 YTD	22,025

IRRIGATION UPDATE



Irrigation System Project Milestones

- 10/01/21 - Approved by City Council to use ARPA Funding
- Patty Jewett received \$3,800,000.00 ARPA funding
- Valley Hi received \$2,800,000.00 ARPA funding

- 5/13/22 – RFP to select a Golf Irrigation Designer to work with Golf Architect and design a new irrigation system
- 6/21/22 - Select Irrigation Technology to design new irrigation system
- 8/5/22 – Notice to Proceed begin mapping
- 3/31/23 – Approve irrigation designs and parts list
- Patty Jewett design cost and construction services \$117,395.00
- Valley Hi design cost and construction services \$86,175.00

- July 2023
- Scope of Work and Bid Documentations
- July-Aug 2023 RFP for Irrigations Installation Services
- September-October 2023
- Select Contractor



- 2/16/22 - RFP to select a Golf Course Architect planning and consulting to reduce turfgrass footprint without effecting playability
- 3/21/22 – Select Phelps Golf Design – Notice to Proceed, begin mapping
- 9/15/22 – After multiple meetings approve turf reduction
- Patty Jewett Turf Reduction Planning \$6,860.00
- Valley Hi Turf Reduction Planning \$5,460.00

- July 6, 2023 Irrigation plans approved by Colorado Springs Utilities.

- September of 2023 – May of 2024 OR
- September of 2024 – May of 2025

Based on contractor availability





QUESTIONS